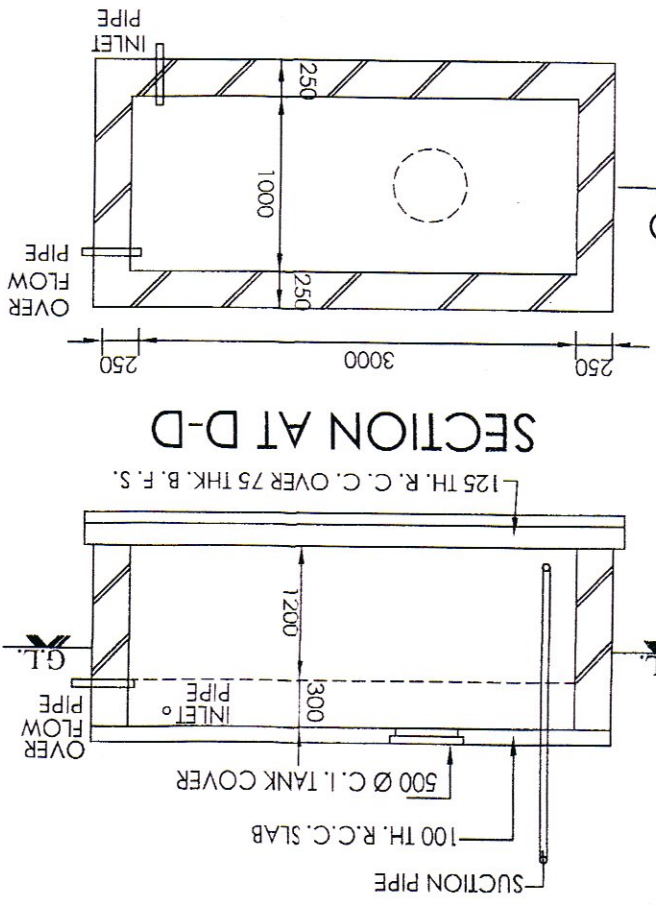
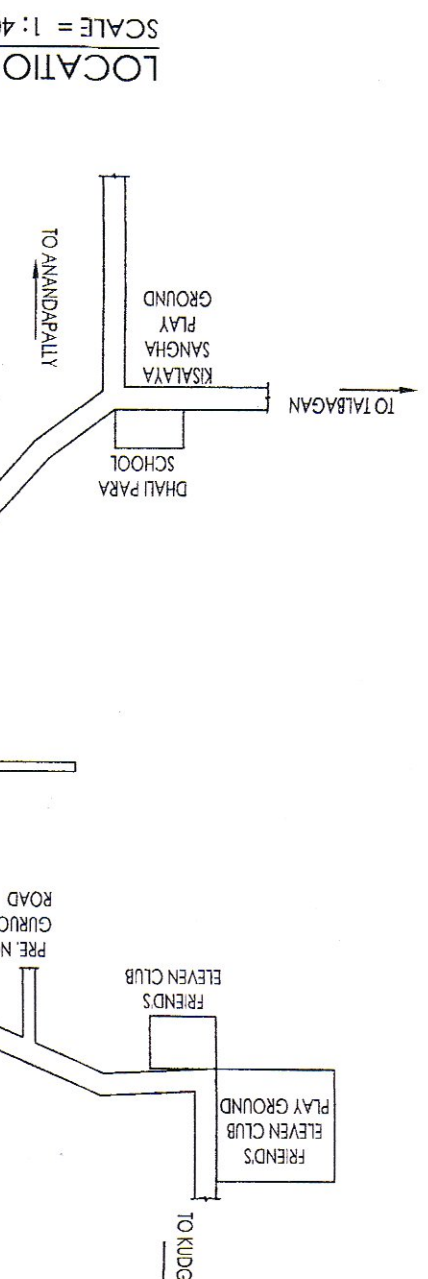


SECTION ON C-C
SCALE: 1:50



SECTION AT D-D
SCALE: 1:50

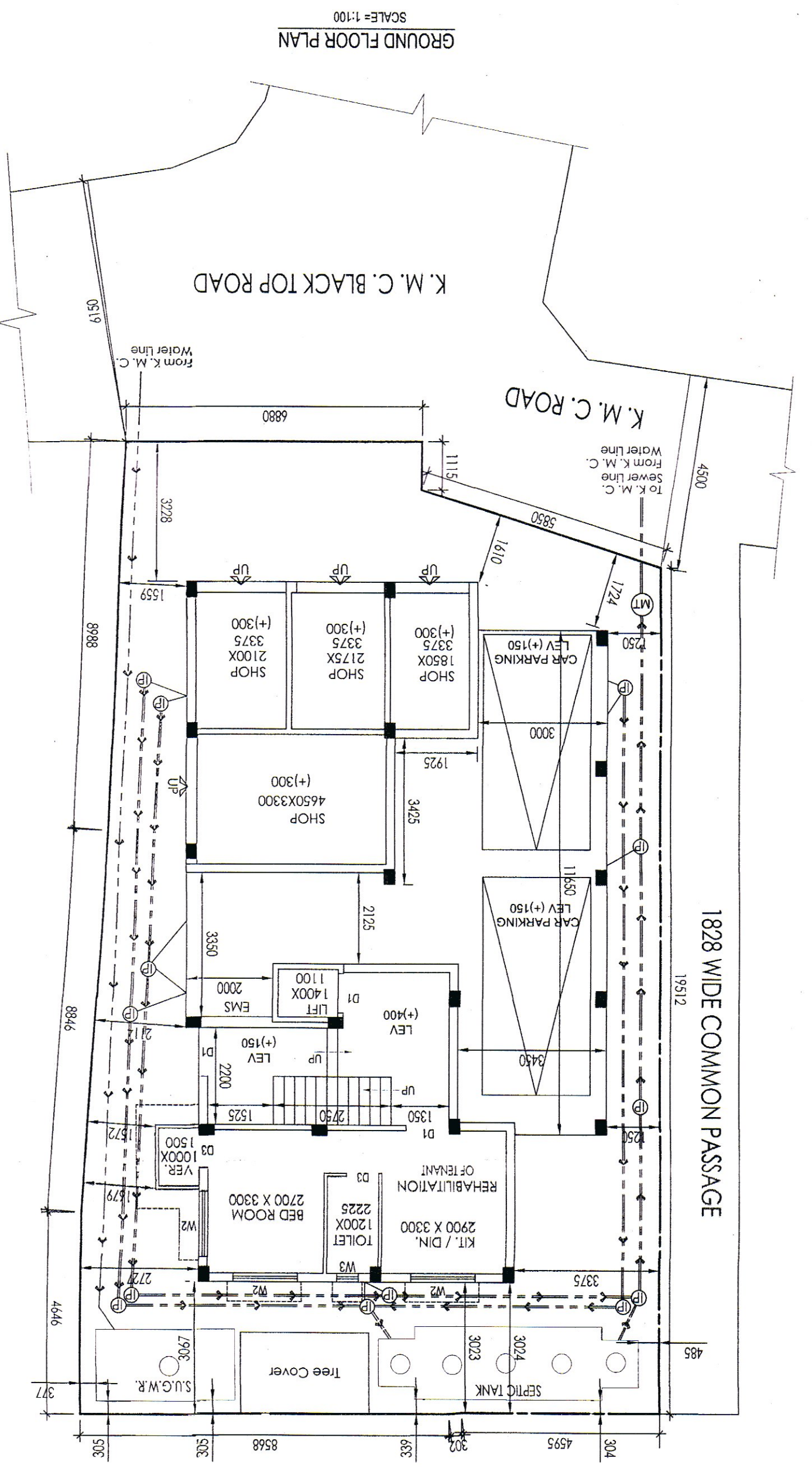
DETAIL OF SEWIL UNDER
GROUND WATER RESERVOIR
CAPACITY - 800 GALLONS
SCALE: 1:50



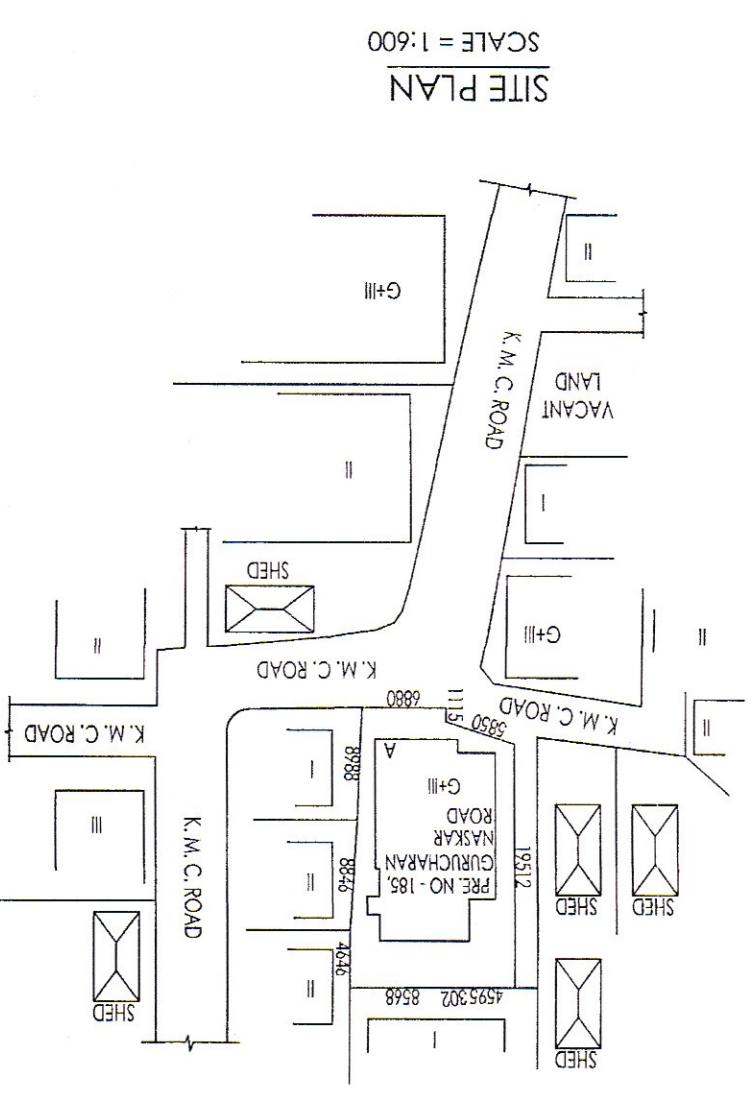
LOCATION PLAN
SCALE = 1:4000

DOORS & WINDOW SCHEDULE

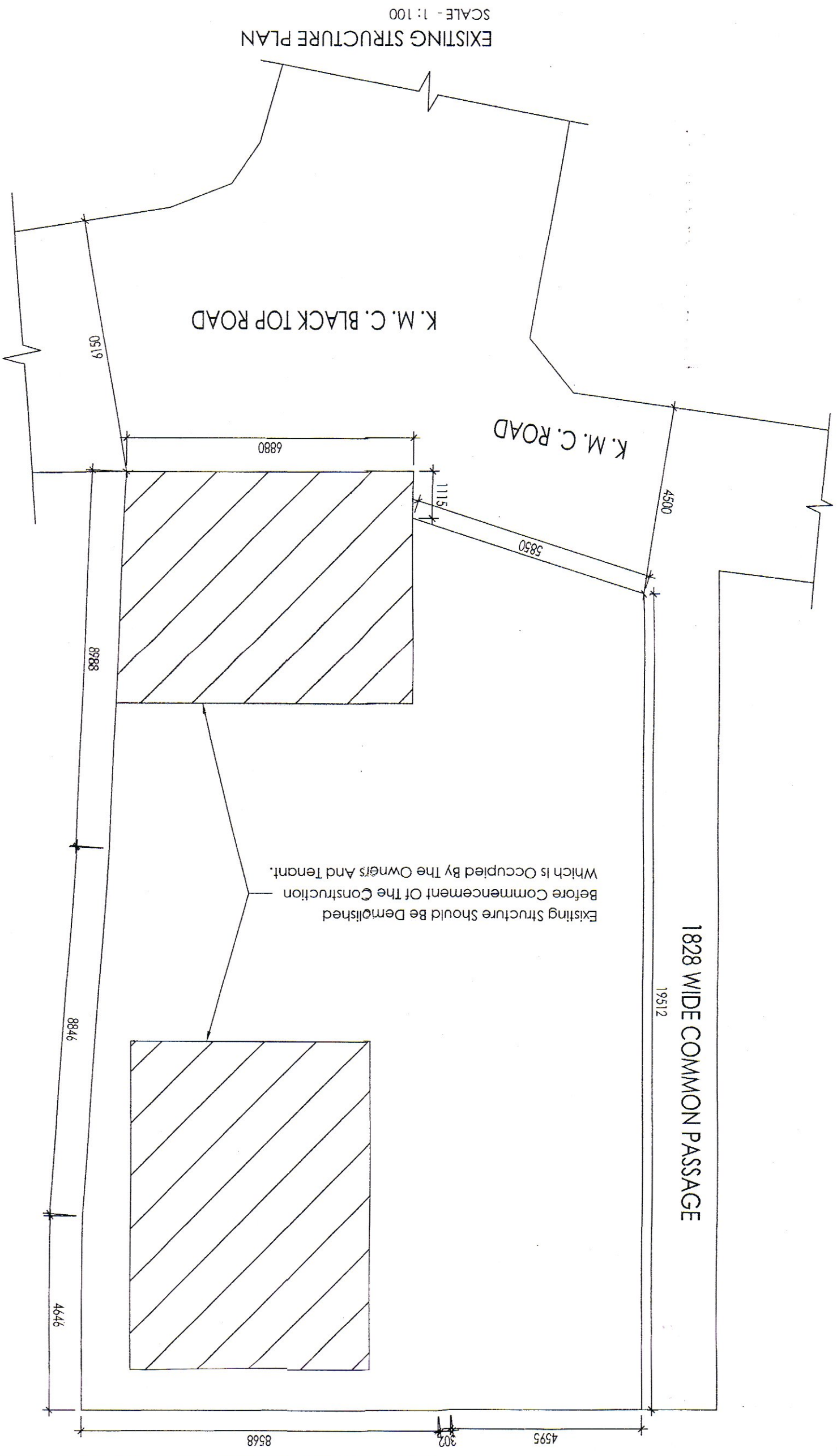
MKD	SIZE	MKD	SIZE
D1	1000x1200	W1	1200x1200
D2	900x1200	W2	1500x1200
D3	750x1100	W3	800x800
		W4	1000x1000



GROUND FLOOR PLAN
SCALE = 1:100



SITE PLAN
SCALE = 1:600



FOR OFFICE USE

B. P. NO :- 2023110326
SANCTION DATE :- 05.01.2024
VALID UPTO :- 04.01.2029

MANISH SARKAR
Digitally signed by MANISH SARKAR
Date: 2024.01.05 11:17:59 +05'30'

DIGITAL SIGNATURE OF A. E. [C]/BLDG/BR.- XI

CO-ORDINATE IN WGS 84 & SITE ELEVATION (AMSL), PERMISSIBLE HEIGHT 3M

Point	Easting (m)	Northing (m)	Height (m)
A	228 287 9.99	N 88 20' 58.41 E	8 M.

S. N. S. CONSTRUCTION Represented by its Partners
SAJAL GHOSH, NARAYAN SAHA, TARAK NATH MONDAL, ALPANA MANDAL, SHANKAR MANDAL, GOPAL MANDAL, PARTHA MANDAL, PANKAJ MANDAL
NAME OF APPLICANT: KUSH KUNDU
L. S. NO. 1/1412

STATEMENT OF THE PLAN PROPOSAL
1. Assessee NO. - 31-114-12-0288-5
2. Details of Deed -
Book No.- I, Volume No.- 1601-2021, Page - 116102 To 116157, Being No. - 160102225 Date - 24/09/2021, AT D.S.R.-I, South 24-Fgs.
Book No.- I, Volume No.- 1601-2021, Page - 173672 To 173701, Being No. - 160103341, [As per Boundary Declaration] Date - 09/12/2021, AT D.S.R.-I, South 24-Fgs. [As per BLRDO]
3. Details of Boundary Declaration :-
Book No.- I, Volume No.- 1601-2023, Page - 61341 To 61354, Being No. - 160101721, Date - 31/07/2023, AT D.S.R.-I, South 24-Fgs.
4. Details of Non Ejection Of tenant :-
a) Permissible :- 147.113 sqm. [57.642%]
b) Proposed :- 147.113 sqm. [54.338%]
2. F. A. R. :-
a) Permissible :- 1.75 (b) Proposed :- 1.745
5. No. of car parking spaces :- N. A.
a) Mandatory :- 2 No.
b) Provided :- 2 No.
6. Car parking area :- 59.24 sqm.
Date - 04/07/2022, AT D. S. R. - I, SOUTH 24 FGS.

AREA STATEMENT

Area	Area in sqm.	Proportional Common Area in sqm.	Actual Tenement Marked Number	Temament Number
Floor	147.113	1.540	01	01
Gr. floor	147.113	1.540	01	01
First Floor	147.113	1.540	01	01
Third Floor	147.113	1.540	01	01
Total Floor	588.452	4.620	02	02
Proposed F. A. R. :-	522.332 - 50.0	270.734		
No. Of Tenement :-	10 Nos.			

Permissible F. A. R. :- 1.75
Area Of The Land :- 270.734 SQM. [As per BLRDO]
Area Of The Land :- 270.734 SQM. [As per Boundary Declaration]
Permissible Covered Area :- 473.918 sqm. + Exempted Area + Car Parking Area.
Permissible Ground Coverage :- 156.056 sqm. [57.642%]
Proposed Ground Coverage :- 147.113 sqm. [54.338%]

NOTES AND SPECIFICATION

1. Thk. of all outer walls are 200 mm with 1:6 cement sand mortar.
2. Thk. of all inner walls are 125 mm with 1:4 cement and sand mortar.
3. Width of the chajja 450 mm.
4. 19 mm thk. plastering to outer walls and 12 mm thk. to inner walls & 6 mm thk. to ceiling.
5. Depth of septic tank and S.U.G.W.R should not exceed more than depth of colouadation.
6. Grade of concrete M-20, Grade of steel Fe-500.
7. All dimension are in mm.

I do certify with full responsibility that the building plan has been drawn as per provision of K.M.C. building rules 2009, as amended from time to time and the site condition including width of the gouting black top road 4500 mm conforming with the site and it is a buildable site not a tank or filled up tank. It is bounded by boundary wall.

The structural design and drawing of the both foundation and super structure of the building have been made by me considering all the possible loads including seismic load as per the National Building code of India latest revision and certify that it is safe and stable in all respect.

Undersigned has inspected the site & carried out the soil investigation there in, it is certified that existing soil of the site is able to carry out the load from the proposed construction and the foundation system therein is safe & stable in all respect from Geo - technical point of view.

BHASKAR YADAV ROY
G. I. NO - 1/14
NAME OF THE G. I. E.

S. N. S. CONSTRUCTION Represented by its Partners
SAJAL GHOSH, NARAYAN SAHA, TARAK NATH MONDAL, SHANKAR MANDAL, GOPAL MANDAL, PANKAJ MANDAL, PARTHA MANDAL, PANKAJ MANDAL
NAME OF THE APPLICANT

AT PREMISES NO - 185, GURU CHARAN NASKAR ROAD, WARD NO - 114, BOROUGH - XI, U/S 393 A OF K. M. C. ACT 1980 UNDER BUILDING RULES 2009, COMPLYING OFFICE CIRCULAR NO. 02 OF DATED - 13/06/2020
ARCHITECTURAL SHEET NO - 2/2

I do hereby undertake with full responsibility that -
1) I shall engage L.B.S. & E.S.E. during Construction.
2) I shall follow the instruction of L.B.S. & E.S.E. during Construction of the building (As per B.S. plan).
3) K. M. C. authority will not be responsible for structural stability of the building & adjoining structure.
4) If any submitted documents are found to be fake, KAPANA DAS, TARAK NATH MONDAL, SWAPAN BANIK, NARAYAN SAHA, SWAPAN BANIK, Represented by its Partners
5) I shall engage L.B.S. & E.S.E. during Construction.
6) During site inspection I was physically present and identified the plot on which plan proposal submitted.
NAME OF THE APPLICANT
PARTHA MANDAL, GOPAL MANDAL, SHANKAR MANDAL, ALPANA MANDAL, KAPANA DAS, TARAK NATH MONDAL, SWAPAN BANIK, NARAYAN SAHA, SWAPAN BANIK, Represented by its Partners
S. N. S. CONSTRUCTION